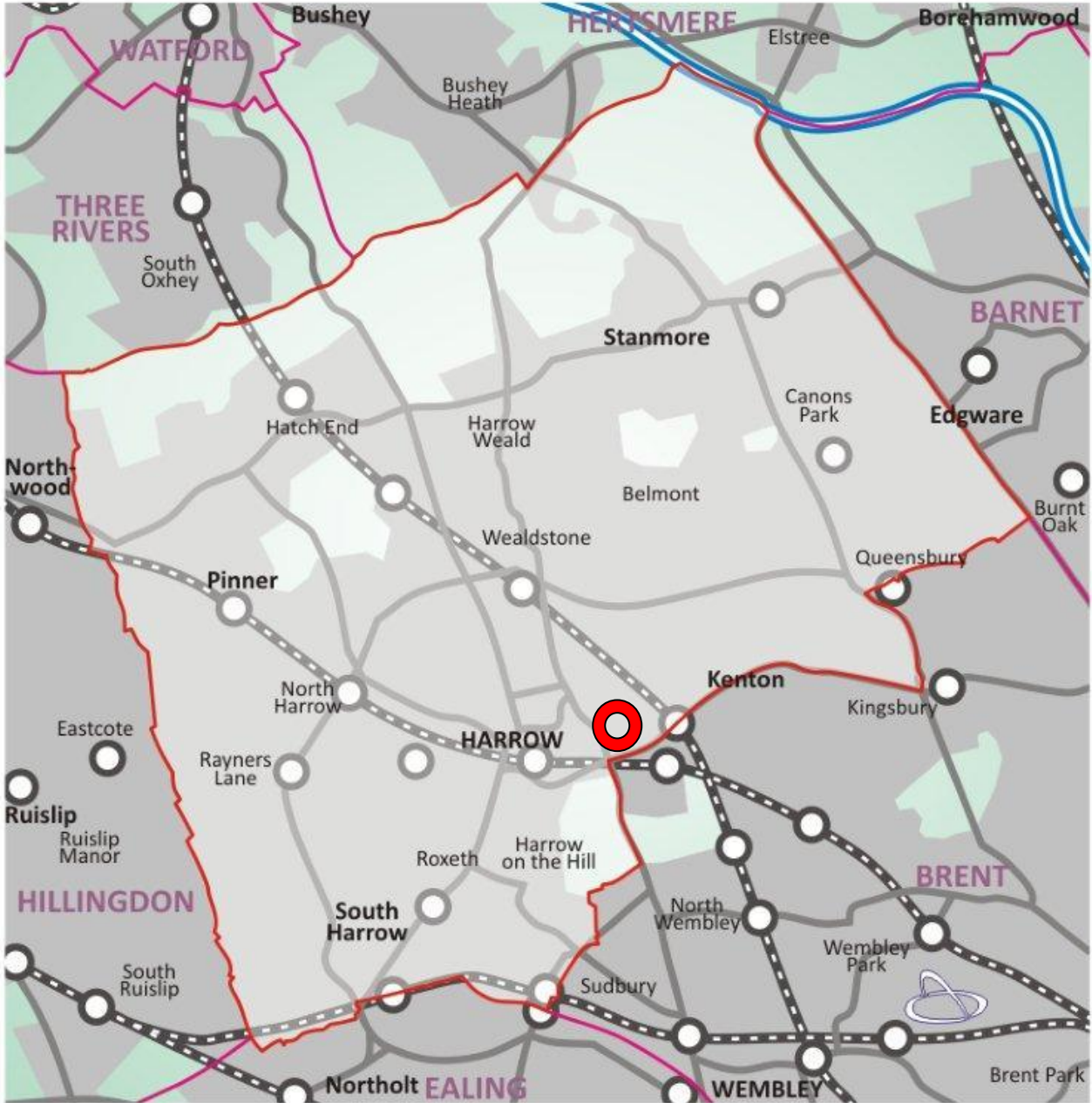
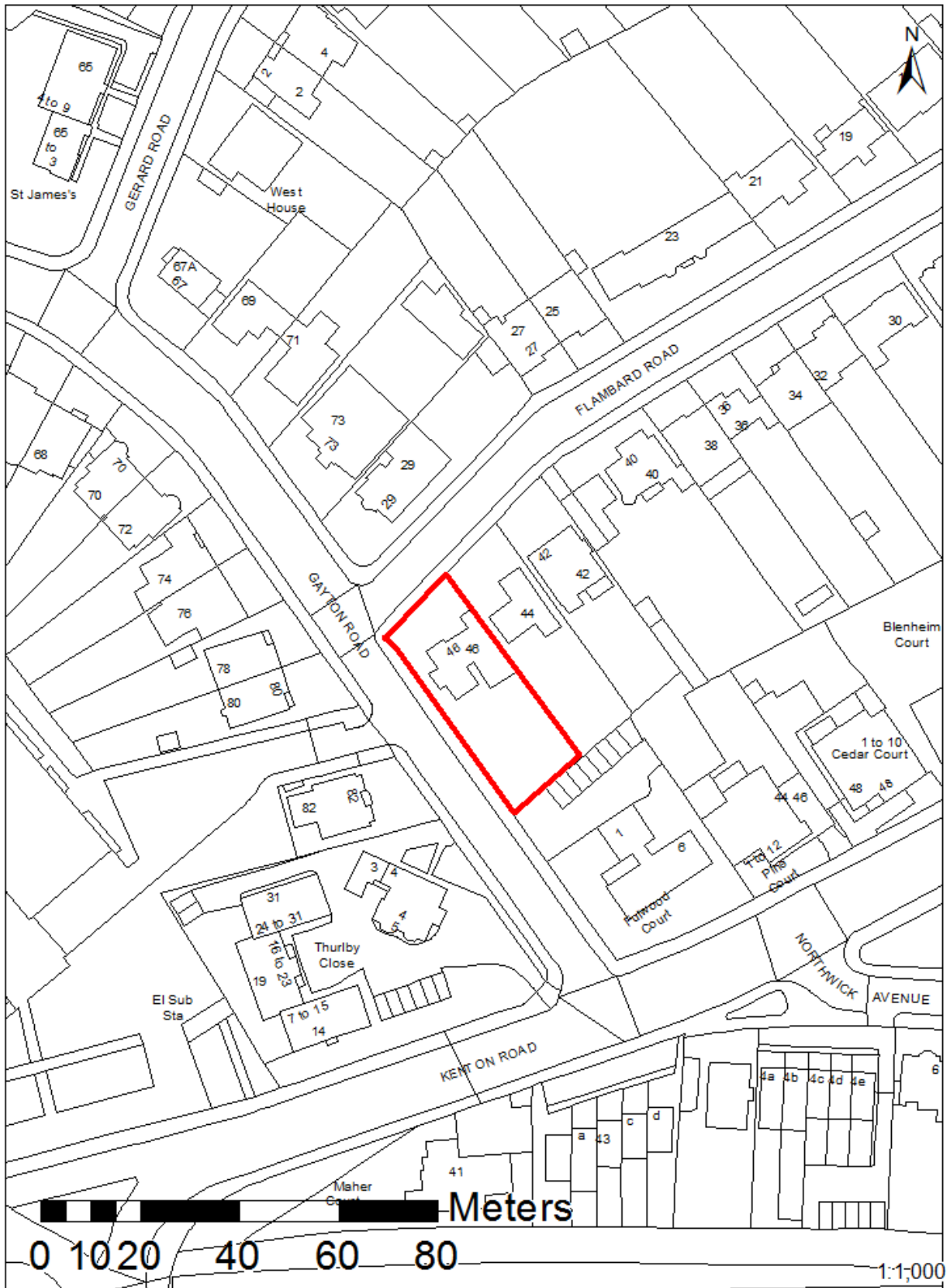


 = application site



46 Flambard Road	P/3387/19
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46 Flambard Road



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LONDON BOROUGH OF HARROW

PLANNING COMMITTEE

20Th NOVEMBER 2019

APPLICATION NUMBER: P/3387/19
VALIDATE DATE: 29/08/2019
LOCATION: 46 FLAMBARD ROAD, HARROW
WARD: GREENHILL
POSTCODE: HA1 2NA
APPLICANT: CAROLINE BYRAM
AGENT: 31/44 ARCHITECTS
CASE OFFICER: KATIE PARKINS
EXPIRY DATE: 22/11/2019

PROPOSAL

Redevelopment To Provide Two Storey Building Comprising Of 7 Self Contained Supported Living Units (Use Class C3); Landscaping; Parking; Bin And Cycle Stores

RECOMMENDATION

- 1) Agree the reasons for approval as set out in this report, and
- 2) Grant planning permission subject to the Conditions listed in Appendix 1 of this report.

REASON FOR THE RECOMMENDATIONS

The proposed development of the site would provide a quality development comprising of a satisfactory level of residential accommodation, for the type (supported living) of accommodation being proposed within the Borough.

The proposal would respond positively to the local context, and would provide appropriate living conditions which would be accessible for all future occupiers of the development. The layout and orientation of the buildings and separation distance to neighbouring properties is considered to be satisfactory to protect the amenities of the neighbouring occupiers.

INFORMATION

This application is reported to Planning Committee as it would result in the creation of more than three new dwellings. The proposal therefore falls outside Schedule 1(d) of the Scheme of Delegation.

Statutory Return Type:	Minor Development: All Other
Council Interest:	None
GLA Community Infrastructure Levy (CIL) Contribution (provisional):	£11,399.80
Local CIL requirement:	£29,872.16

HUMAN RIGHTS ACT

The provisions of the Human Rights Act 1998 have been taken into account in the processing of the application and the preparation of this report.

EQUALITIES

In determining this planning application the Council has regard to its equalities obligations including its obligations under section 149 of the Equality Act 2010.

For the purposes of this application there are no adverse equalities issues.

S17 CRIME & DISORDER ACT

Policies 7.3.B and 7.13.B of The London Plan and Policy DM1 of the Development Management Policies Local Plan require all new developments to have regard to safety and the measures to reduce crime in the design of development proposal. It is considered that the development does not adversely affect crime risk.

OFFICER REPORT

ASSESSMENT

1.0 SITE DESCRIPTION

- 1.1 The application site comprises an 8 bedroom detached building located on Flambard Road in Greenhill. The building is currently vacant, however it was previously used as a care home (Use Class C2). The host building has been previously extended by a single storey rear extension and rear conservatory.
- 1.2 The application site occupies a prominent position within the street scene due to its corner position on Gayton Road and Flambard Road. The surrounding area is characterised by two-storey detached dwellings. Fulwood Court is located to the rear of the site. Fulwood Court fronts Kenton Road and is a 2/3 storey residential building.
- 1.3 There are trees within the site subject to a TPO (ref 464).
- 1.4 The application site is not within a flood zone or a critical drainage area. There are no other site constraints.
- 1.5 The application site has a PTAL rating of 5 and is therefore within a sustainable location. On-street parking within the vicinity of the site is managed by a controlled parking zone.

2.0 PROPOSAL

- 2.1 The application seeks planning permission to demolish the existing building and to construct a two storey building comprising of 7 self-contained supported living units (Use Class C3), consisting of 4x 1-bed (2 person) units and 3x studio (1 person) units.
- 2.2 A common room, WC and office would be provided at ground floor level. A communal garden is proposed to the rear with access from a side passage adjacent to the flank.
- 2.3 The building would provide supported living accommodation for people with learning disabilities and other complex needs. The tenants would live independently in a self-contained unit, with support from staff 24/7. The design and Access Statement confirms that 1 -2 members of staff would be on site at any one time.

3.0 RELEVANT PLANNING HISTORY

Ref no.	Description	Status and Date of Decision
HAR/1040/M	Erect detached house and garage.	Granted: 19/03/1958

HAR/1040/N	Erect detached house and garage (amended).	Granted: 19/03/1958
LBH/3831	Erection of single-storey extension to provide study and oil storage room.	Granted: 19/11/1968
LBH/3831/1	Erection of single-storied rear extension to garage lounge dining room and side extension to utility room.	14/09/1973
LBH/3831/2	Alterations erection of rear extension to lounge and garage and 2 storied side and rear extension.	Granted: 12/08/1974
LBH/3831/3	Erection of garage extension at front and single storey lounge extension to rear of dwellinghouse.	Granted: 6/10/1978
LBH/40512	Single storey rear side and front extensions.	Granted; 26/04/1990
P/1406/05/DFU	Single storey side/rear and front extensions; alterations; revised access arrangement and parking at front.	Refused; 29/07/2005
P/2332/05/DFU	Single and two storey side and rear extension.	Refused: 10/11/2005
WEST/553/93/FU L	Single storey front and side extension to form garage.	Granted: 2/12/1993
WEST/82/95/FUL	Change of use: residential to care home.	Refused: 4/4/1995
2196	Change of use: residential to care home.	Appeal allowed: 12/10/1995
P/4616/17	Change Of Use From Care Home (Class C2) To Residential (Class C3)	Granted: 15/12/2017

4.0 Consultation

4.1 A total of 10 consultation letters were sent to neighbouring properties. No responses were received.

4.2 The public consultation period expired on the 19th September 2019.

4.3 Statutory and Non Statutory Consultation

4.4 The following consultations have been undertaken, together with the responses received and officer comments:

LBH Planning Policy and Research

No objection.

Officer Comments

Noted.

LBH Highways

This is a location with good access to public transport (ptal 5), walking and cycling facilities. The site is within a controlled parking zone operating 8:30am to 6:30pm, Monday to Saturday. The site provides 3 off-street car parking spaces that could be used by staff or visitors. It would seem that residents of the property are unlikely to be car drivers therefore the anticipated car parking demand would be limited to staff and visitors. Day to day staff should not drive but transportation of the residents may have to be by car/minibus. Visitors can be encouraged to travel by public transport. The proposed off-street parking could be disabled use only. The proposed cycle parking is welcomed but should ideally be sheltered, secure and capable of accommodating non-standard bikes. This proposal is unlikely to have a severe highways impact; we have no objection to this proposal. It is noted that the cycle parking provision will allow for sheltered storage and can accommodate a non-standard cycle. The dLP minimum cycle parking standards are 1 space per 5 FTE staff long stay and 1 space per 20 bedrooms short stay – the 11 shown are more than enough.

A pre-commencement condition for a demolition and construction traffic management plan would be helpful. This should include (but is not limited to);

- Parking of vehicles of site operatives/visitors
- HGV access to site – loading and unloading of plant and materials
- Number of HGV's anticipated
- Storage of plant and materials used in constructing the development
- Programme of work and phasing
- Site layout plan
- Highway condition (before, during, after)
- Measures to control dust and dirt during construction
- A scheme for recycling/disposing of waste resulting from demolition and construction works

Highways have no objection to this proposal.

Officer Comments

Noted. Please refer to Section 6.6 below.

LBH Tree Officer

No objection.

Officer Comments

Noted.

LBH Landscaping Architect

There is an indicative landscape plan, without details. The proposal for the frontage is to retain all the hard landscape area, for car parking. This would mean that the frontage would be dominated by hard landscape with minimal soft landscape, which would be unattractive in the street scene and this, if possible should be reduced in extent to provide much more soft landscape to provide streetscene impact and enhance the biodiversity of the area, refer to DM policies 22 and 23. Unable to find a detailed proposed landscape plan, as noted in the design and access statement, and further details would be required.

There are several TPO's on the existing trees, which have been noted and detailed in the tree report. There is a comprehensive tree survey, impact assessment and a tree protection plan. Rebecca Farrar will be able to comment on this.

The changes of level to the back garden area require detailed drawings to understand how the steps/ footpath would work in relation to proposed and existing levels. Details of the proposed green roof are also required, which should be a biodiverse roof and an explanation and plan as to how the green roof is to be maintained.

The refuse and cycle storage should be screened and secure. Details of the proposed hard and soft landscape, the proposed levels and boundary treatment are required.

If you are minded to approve this application the following hard and soft landscape conditions, including the detail of the standard planning conditions, where noted below, would be required:

There are some notes below in blue to indicate that the conditions could be separate or included within the hard and soft landscape details.

- Landscaping to be Approved. A landscape masterplan, hard and soft landscape details.
Soft landscape works to include:
 - Planting plans (at a scale not less than 1:100).
 - Schedules of plants, noting species, plant sizes, plant container sizes (all at time of planting) and proposed numbers / densities
 - Written specification of planting and cultivation works to be undertaken
 - A landscape implementation programme
 - Hard landscape details and include details of proposed steps, ramp, footpaths
 - Hard landscape materials details (or a separate condition)
- Boundary Treatment note this could easily be included in the above hard and soft landscape condition
- Hard Landscape Materials detail condition or include within the hard

and soft landscape condition

- Levels: No development shall commence, other than works of demolition, until a detailed Levels Plan of the proposed ground level finished levels have been agreed in writing with the LPA. This document needs to explain details of the external levels of the building and external space in relation to the adjoining land and highways, and any other changes proposed in the levels of the site. Sufficient levels detail is required to understand the proposals in relation to the existing levels of the surrounding external wider site, outside the development site. The development shall be carried out in accordance with the details so agreed.
- Refuse and cycle storage – secure and screened
- Green roof details including details of the buildup of layers, planting medium, drainage and proposed type of green roof, with planting plan and plant schedule (as hard and soft landscape condition) or the green roof could be included in the landscape condition above.
- Landscaping Scheme – Proposed landscape implementation and implementation programme, including a period of 5 year period for replacements of soft landscape

Officer Comments

Comments noted. The required landscaping conditions have been attached.

LBH Waste Management

They will require 1 x 1100ltr general waste, 1 x 1280ltr dry recycling and 1 x 140ltr food waste bin, internal food waste caddies will be provided for each unit. We have never used an 1100ltr brown bin so not sure where that came from. We do provide 240ltr brown bins for garden waste but residents of managing agents will have to sign up to the collection service for these.

Officer Comments

Comments noted.

LBH Drainage

In line with our Development Management Policy 10, to make use of sustainable drainage measures to control the rate and volume of surface water runoff, to ensure separation of surface and foul water systems, make provision for storage and demonstrate arrangements for the management and maintenance of the measures used, the applicant should submit a surface water drainage strategy.

The applicant should submit drainage details in line with our standard requirements attached.

The applicant should consult Thames Water developer services by email: developer.services@thameswater.co.uk or by phone: 0800 009 3921 or on Thames Water website www.developerservices.co.uk regarding capacity of their public sewers for receiving additional discharge from the proposed development. The Thames Water confirmation letter should be submitted.

Proposed Hardstanding

The use of non-permeable surfacing impacts upon the ability of the environment to absorb surface water, and the hardsurfacing of the front

gardens and forecourts lead to localised surface water flooding. Hence our requirement for use of permeable paving for all hardstanding.

The applicant should submit full construction details of permeable paving with their maintenance plan.

Officer Comments

Noted.

5.0 Policies

5.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that:

'If regard is to be had to the Development Plan for the purpose of any determination to be made under the Planning Acts, the determination must be made in accordance with the Plan unless material considerations indicate otherwise.'

5.2 The Government has issued the National Planning Policy Framework [NPPF 2019] sets out the Government's planning policies for England and how these should be applied, and is a material consideration in the determination of this application.

5.3 In this instance, the Development Plan comprises The London Plan 2016 [LP] and the Local Development Framework [LDF]. The LDF comprises The Harrow Core Strategy 2012 [CS], Harrow and Wealdstone Area Action Plan 2013 [AAP], the Development Management Policies Local Plan 2013 [DMP], the Site Allocations Local Plan [SALP] 2013 and Harrow Local Area Map 2013 [LAP].

5.4 While this application has been principally considered against the adopted London Plan (2016) policies, some regard has also been given to relevant policies in the Draft London Plan (2017), as this will eventually replace the current London Plan (2016) when adopted and forms part of the development plan for the Borough.

6.0 ASSESSMENT

6.1 The main issues are:

- Principle of the Development
- Character and Appearance of the Area
- Impact to Residential Amenity
- Standard of Residential Accommodation
- Traffic and Parking
- Development and Flood Risk
- Impact to Trees
- Accessibility
- Equalities Implications
- S17 Crime & Disorder Act

6.2 Principle of The Development

Loss of Residential Care Home

- 6.2.1 Policy DM29 of the DMP relates to care homes and part B of the policy states “*the loss of care homes or sheltered housing will only be supported where it can be reasonably demonstrated there is no longer a demand for that use on site*”. Furthermore, the accompanying text for this policy acknowledges there is an under provision of supported accommodation for people with mental health needs and additional provision needs to be developed.
- 6.2.2 Planning permission was granted in 2017 (P/4616/17) for the change of use from a care home (Use Class C2) to residential (Class C3). As such, the principle of the proposed loss of the care home was considered to be acceptable and since the grant of this planning permission there have been no changes to the development plan. Notwithstanding this, the proposed use is considered to be a different form of supported living and given the type of care provided would be classed as C3 residential. As such, whilst the proposal would result in a change from C2 to C3, the intended use would still have some care / supported living element. Therefore, the principle of the proposed loss of the existing care home (Use Class C2) is considered to be acceptable, in accordance with the NPPF (2019), policies 3.8 and 3.9 of The London Plan (2016), policy CS1 of the Harrow Core Strategy (2012) and policy DM1 of the Harrow Development Management Policies Local Plan (2013). A condition to restrict any future change of use and limit occupation to supported living accommodation is considered to be appropriate.

6.3 Character and Appearance of the Area

- 6.3.1 As noted above, the site has a prominent position due to its corner position on Flambard and Gayton Road. The flats to the rear of the site - Fulwood Court is a 2/3 storey residential building with a flat roof. Flambard Road is characterised by detached and semi-detached houses of various architectural design, roof form and external materials.
- 6.3.2 The proposed building is two-storey with a gable end roof, with a two storey front projection with an asymmetrical roof. The ridge of the proposed building is approximately 1.6m higher than that of the neighbouring dwellinghouse No.44 Flambard Road. However it is noted that the proposed building is only 0.8m higher than the existing building. Whilst nos.42 and 44 Flambard Road are of a broadly consistent height, the proposed building is of a similar height to No. 42 Flambard Road. The proposed building would be set-in approximately 2.6m from the side boundary, adjacent to Gayton Road. It would be set-back from the front boundary by approximately 6.7m and would have a similar front building line. The proposed building is of an appropriate size and scale and would relate well to the surrounding area. The proposed rear elevation includes a modest dormer, which achieves sufficient visual containment. The proposed building is of a high design quality and given the mixed character of the area with regards to architectural design, the proposed building would not appear an anomaly within the

streetscene, subject to a condition requiring details of all external materials and doors to be submitted to the LPA for approval.

Refuse Storage

- 6.3.3 A single refuse store is proposed adjacent to the eastern boundary of the site. The Waste Management Officer was consulted who confirmed that the proposed volume of the brown bin exceeds the minimum requirements. However, this is considered to be acceptable in planning terms. In accordance with policy DM45 of the DMP a condition is appropriate to ensure the details of refuse storage are submitted to and approved by the LPA, prior to occupation.

Landscaping

- 6.3.4 In accordance with the consultation response from the Councils' Landscape Architect, further details of soft and hard landscaping and site levels are to be secured by a planning condition to ensure a high standard of amenity and a positive contribution to the character and appearance of the wider area.
- 6.3.5 It is therefore considered that the proposal, subject to appropriate conditions would have an acceptable impact on the character and appearance of the area and therefore complies with the National Planning Policy Framework (2019), policies 7.4 and 7.6 of The London Plan (2016), policy CS1 of the Harrow Core Strategy (2012), policies DM1, DM22, DM23 and DM45 of the Harrow Development Management Policies Local Plan (2013) and the Supplementary Planning Document - Residential Design Guide 2010

6.4 Impact to Residential Amenity

- 6.4.1 It is considered that the use of the building for specialist residential accommodation would not result in additional activities or coming and goings, than the former care home (Use Class C2). It is therefore considered that the proposal would not result in a detrimental impact on the amenity of the neighbouring occupiers, in terms of additional noise or disturbance.
- 6.4.2 The proposed building would project approximately 2m beyond the rear of the neighbouring property No.44 Flambard Road. A pergola is located to the rear of the common room, which would project a further 1m. At ground floor level, the western flank wall of the proposed building would directly abut the side boundary of the site, shared with No.44 Flambard Road. At first floor level, it would be set-in from the boundary by approximately 1.5m. The flank wall of the proposed building would not contain any openings. The proposed building would not encroach a 45 degree splay taken from the first floor front and rear corners of No.44 Flambard Road. The proposed building would project a further 1.6m beyond the front of No.44 Flambard Road. The ridge of the proposed building is approximately 1.6m higher than that of the neighbouring dwellinghouse No.44 Flambard Road. However it is noted that the proposed building is only 0.8m higher than the existing

building. The rear elevation of the proposed building contains first floor windows. However, they would not overlook any additional areas than the existing windows.

- 6.4.3 Fulwood Court is a 2/3 storey residential building located to the rear of the site. The rear building line of the proposed dwelling is approximately 35m from the rear elevation of Fulwood Court, with intervening garages.
- 6.4.4 Harrow Primary School and Salem Nursery are located to the east of the site, at a distance of approximately 23m, with an intervening highway – Gayton Road.
- 6.4.5 It is therefore considered, that due to the size and scale of the proposed development and its relationship with neighbouring properties, it would not appear overly dominant, nor result in a detrimental impact to the residential amenities of neighbouring properties due to a loss of light, privacy or outlook.
- 6.4.6 The use of the rear garden as communal amenity space would not cause any additional impact on privacy for the neighbouring occupiers, than the existing amenity space.
- 6.4.7 As such, it is considered that the proposal would not have any detrimental impact on the neighbouring occupiers. The proposal therefore complies with the National Planning Policy Framework (2019), policy 7.6 of The London Plan (2016), policy CS1 of the Harrow Core Strategy (2012), policy DM1 of the Harrow Development Management Policies Local Plan (2013) and the Supplementary Planning Document - Residential Design Guide (2010)

6.5 Standard of Residential Accommodation

- 6.5.1 The applicant has confirmed that the proposed residential use would consist of self-contained flats and each tenant would have a tenancy for their own home. They would be liable for the rent and will receive, typically, enhanced housing benefit. An RSL will provide support to individuals with managing their tenancy and Voyage Care, as support provider, will provide care/ support only as needed. The applicant also confirmed that the flats will not be offered for sale or rent on the open market but will only be made available to individuals who have care/ support needs.
- 6.5.2 The proposed units comply with the minimum space standards provided in policy 3.5C of The London Plan (2016) and would provide future residents with an acceptable standard of light, outlook and privacy. A proposed first floor bedroom is sited above the common room at ground floor level. However the agent has submitted details relating to sound insulation which demonstrates noise transference between units can be appropriately mitigated.
- 6.5.3 A 1-bedroom flat is proposed within the roofspace. A communal kitchen/living area would be served by a dormer window and a window in the eastern flank wall would serve the bedroom. At its lowest, the proposed flat would have a headroom of 1.9m and a maximum of 2.3m. 75% of the total GIA would have a headroom in excess of 2.3m in accordance with policy 3.5C of The London Plan (2016).

- 6.5.4 Although no private amenity space has been provided i.e. in the form of balconies, it is considered that given the intended occupiers likely to reside at this site, on balance the existing rear garden would provide a suitable communal amenity area, for future residents in accordance with policy DM27 of the DMP.
- 6.5.5 The proposed development would provide an acceptable standard of residential accommodation for future residents, in accordance with policy 3.5C of The London Plan, policies DM1 and DM27 of the Harrow Development Management Policies (2013), the Supplementary Planning Document - Residential Design Guide (2010), The London Plan Housing Supplementary Planning Guidance (2016) and the Technical Housing Standard (2015)

6.6 Traffic and Parking

- 6.6.1 The site has a PTAL rating of 5 and is therefore located in a sustainable location. Furthermore, the site is within a controlled parking zone operating on Mondays to Saturdays from 8:30 to 18:30.
- 6.6.2 The proposed landscaping plan indicates the provision of three parking spaces (including one accessible space) within the curtilage of the site.
- 6.6.3 The Highways Department was consulted who confirmed that the number of proposed parking spaces is appropriate and subject to the provision of cycle storage, the proposal is unlikely to have a severe highways impact.
- 6.6.4 Whilst the applicant has indicated that there is sufficient space on site to provide the necessary level of cycle parking, a condition is appropriate to require such details to be submitted and approved by the LPA.
- 6.6.5 Subject to the abovementioned conditions, the proposal is considered to be acceptable in this regard, in accordance with the National Planning Policy Framework (2019), policies 6.9 and 6.13 of The London Plan (2016), policy CS1 of the Harrow Core Strategy (2012), policy DM1 and DM42 of the Harrow Development Management Policies Local Plan (2013).

6.7 Development and Flood Risk

- 6.7.1 The application site is located in a critical drainage area. The Drainage Department raised no objection to the proposed development subject to conditions relating to surface water attenuation/storage/disposal, foul water disposal and permeable hardsurfacing.
- 6.7.2 Subject to the abovementioned conditions, the proposal is considered to be acceptable in this regard, in accordance with the National Planning Policy Framework (2019), policy 5.13 of The London Plan (2016), policy CS1 of the Harrow Core Strategy (2012), policy DM1 and DM10 of the Harrow Development Management Policies Local Plan (2013).

6.8 Impact to Trees

- 6.8.1 There are trees within the front and rear garden which are subject to a Tree Preservation Order (ref:464). This application was accompanied by an Arboricultural Report, which demonstrates the retention of the existing trees. The Council's Tree Officer was consulted who raised no objection to the proposed development.
- 6.8.2 The proposal is considered to be acceptable in this regard, in accordance with the National Planning Policy Framework (2019), policies 7.21B of The London Plan (2016), policy CS1 of the Harrow Core Strategy (2012), policy DM1 and DM22 of the Harrow Development Management Policies Local Plan (2013).

6.9 Accessibility

- 6.9.1 Given the nature of the accommodation, the proposed use has to be accessible to ensure the accommodation is fit for purpose. The Design and Access Statement confirms that unit 1 at ground floor level is wheelchair adaptable, in accordance with the London Housing SPG (2017) which requires 10% of new dwellings to be Part M compliant. A condition is recommended to ensure that the scheme would be fully compliant with Part M.
- 6.9.2 It is considered that the proposal is acceptable in this regard, in accordance with the National Planning Policy Framework (2019), policy 3.8 of The London Plan (2016), policy CS1 of the Harrow Core Strategy (2012), policy DM1 and DM2 of the Harrow Development Management Policies Local Plan (2013) and the Supplementary Planning Document - Residential Design Guide 2010

7.0 CONCLUSION AND REASONS FOR APPROVAL

- 7.1 The development would provide specialist, residential accommodation which would provide an acceptable standard of accommodation for future residents. Furthermore, the proposal would not result in a detrimental impact to residential amenities or to the character and appearance of the area. The proposal complies with the relevant policies from the development plan, and subject to condition, the proposal is considered to be acceptable.

APPENDIX 1: CONDITIONS AND INFORMATIVES

Conditions

1. Time Limit

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON: To comply with the provisions of Section 91 of the Town and Country Planning Act 1990.

2. Demolition and Construction Logistics Plan

No development shall take place, including any works of demolition, until a Detailed Demolition and Construction Logistics Plan has been submitted to, and approved in writing by, the local planning authority. In accordance with the format and guidance provided by Transport for London (www.constructionlogistics.org) the Detailed Demolition and Construction Logistic Plan shall provide for:

- a) Parking of vehicles of site operatives/visitors;
- b) HGV access to site – loading and unloading of plant and materials;
- c) Number of HGV's anticipated;
- d) Storage of plant and materials used in constructing the development;
- e) Programme of work and phasing;
- f) Site layout plan;
- g) Highway condition (before, during, after);
- h) Measures to control dust and dirt during construction;
- i) A scheme for recycling/disposing of waste resulting from demolition and construction works; and
- j) details showing the frontage/ the boundary of the site enclosed by site hoarding to a minimum height of 2 metres.

The development shall be carried out in accordance with the approved Detailed Construction Logistics Plan, or any amendment or variation to it as may be agreed in writing by the local planning authority.

REASON: To minimise the impacts of construction upon the amenities of neighbouring occupiers and to ensure that development does not adversely affect safety on the transport network in accordance with policy 6.3 of The London Plan (2016) and policies DM1 and DM43 of the Harrow Development Management Policies Local Plan (2013).

3. Levels

No site works or development shall commence until details of the levels of the building(s), road(s) and footpath(s) in relation to the adjoining land and road/highway(s), and any other changes proposed in the level of the site, have been submitted to, and agreed in writing by the local planning authority. The development shall be carried out in accordance with the details so agreed.

REASON: To ensure that the works are carried out at suitable levels in relation to the highway and adjoining properties in the interests of the amenity of neighbouring residents, the appearance of the development, drainage, gradient of access and future highway improvement in accordance with policies DM1 and DM42 of the Harrow Development Management Policies Local Plan (2013).

4. Approved Plans and documents

The development hereby permitted shall be carried out in accordance with the following approved plans and documents: Design and Access Statement (07/2019); Arboricultural Report (07/2018); 001; E-002; E-003; E-004; E-005; E-006; E-007; E-008; E-009; PL-001; PL-002; PL-006; PL-007; PL-008; PL-009; PL-010; PL-011; PL-012; PL-013; PL-014; PL-015; E-010; E-011; PL-016; 3804.Flambard.Harrow.3144.AIP; PL-015; 3804.Flambard.Harrow.3144.TPP

REASON: For the avoidance of doubt and in the interests of proper planning.

5. Materials

The development hereby permitted shall not progress beyond damp proof course level until samples of the materials to be used in the construction of the external surfaces noted below have been submitted to, and approved in writing by, the local planning authority:

- a: the building, including roof;
- b: windows/ doors;
- c: rainwater goods; and

The development shall be carried out in accordance with the approved details and shall thereafter be retained.

REASON: To safeguard the appearance of the locality in accordance with policy 7.6 of The London Plan (2016) and policy DM1 of the Harrow Development Management Policies Local Plan (2013).

6. FW Disposal

The development other than demolition works, hereby permitted shall not commence until details of the works for the disposal of sewage to be provided on site have been submitted to, and agreed in writing by, the local planning authority. The development shall be carried out in accordance with the works so agreed and the works shall thereafter be retained.

REASON: To ensure that there is adequate waste water infrastructure in place to serve the development and to ensure the separation of surface and foul water systems, in accordance with policy 5.14 B of The London Plan (2016) and policy DM10 of the Development Management Policies Local Plan (2013).

7. SW Attenuation, Storage and Disposal

The development other than demolition works, hereby permitted shall not commence until details for the works for the attenuation, storage and disposal of surface water to be provided on site have been submitted to, and agreed in writing by, the local planning authority. The development shall be carried out in accordance with the works so agreed and the works shall thereafter be retained.

REASON: To ensure that the development incorporates sustainable drainage systems and achieves greenfield run-off rates, and to ensure the separation of surface and foul water systems, in accordance with policy 5.13A of The London Plan (2016) and policy DM10 of the Development Management Policies Local Plan (2013).

8. Drainage Maintenance Plan

The development other than demolition works, hereby permitted shall not commence until full details of the permeable paving and details relating to the long term maintenance and management of the on-site drainage are submitted to and approved in writing by the Local Planning Authority. Details thereby approved shall be retained thereafter.

REASON: To ensure that the development has adequate drainage facilities, to reduce and mitigate the effects of flood risk and would not impact the character and appearance of the development, in accordance with policy 5.13 of The London Plan (2016) and policies DM1 and DM10 of the Harrow Development Management Local Policies Plan (2013).

9. Refuse Storage

The development hereby permitted shall not be occupied until details for refuse storage including screening have been submitted and approved in writing by the Local Planning Authority. The development shall be completed in accordance with the approved details prior to occupation and shall thereafter be retained in accordance with the approved plans. The refuse bins shall be stored at all times, other than on collection days, in the designated refuse storage area, as shown on the approved drawing.

REASON: To ensure that the development achieves a high standard of amenity for future occupiers of this and the neighbouring buildings, in accordance with policy 7.6 of The London Plan (2016) and policies DM1 and DM45 of the Harrow Development Management Policies Local Plan (2013).

10. Car Parking

The development hereby permitted shall not be occupied until three parking spaces (including one accessible parking space) of a standard size have been provided within the curtilage of the site. The development shall be completed in accordance with the approved details prior to occupation and shall thereafter be retained in accordance with the approved plans.

REASON: To prevent the over-provision of car parking spaces and to ensure that the car parking provision is available for use by the occupants of the site and in accordance with policy T6 of The Draft London Plan (2017) and policies DM1 and DM42 of the Harrow Development Management Policies Local Plan (2013).

11. Cycle Storage

The development hereby permitted shall not be occupied until details for secured, sheltered and accessible cycle storage for the provision of 6 bicycles (including non-standard bicycles have been submitted and approved in writing by the Local Planning Authority. Such cycle storage should be designed in accordance with the requirements of the London Cycle Design Standards. The development shall be completed in accordance with the approved details prior to first occupation of the development and shall thereafter be retained.

REASON: To ensure that cycle storage is available for use by the occupants of the site in accordance with policy T5 of The Draft London Plan (2017) and policies DM1 and DM42 of the Harrow Development Management Policies Local Plan (2013).

12. Boundary Treatment

The development hereby approved shall not progress beyond damp proof course level until a plan indicating the positions, design, materials and type of boundary treatment to be erected for the entire development has been submitted to, and approved in writing by, the local planning authority. The development shall be carried out in accordance with the approved details prior to the first occupation of the development and shall thereafter be retained.

REASON: To safeguard the amenity of neighbouring residents, the future occupiers and the character of the locality, in accordance with policy 7.6 of The London Plan (2016) and policy DM1 of the Harrow Development Management Policies Local Plan (2013).

13. Soft and Hard Landscape Plan

Notwithstanding the approved details, the development hereby permitted shall not be occupied until there has been a scheme of hard and soft landscape works for the site submitted to, and approved by, the local planning authority. Soft landscape works shall include:

Soft landscape works shall include:

- a) Planting plans (at a scale not less than 1:100);
- b) Schedules of plants, noting species, plant sizes, plant container sizes (all at time of planting) and proposed numbers/densities;
- c) Written specification of planting and cultivation works to be undertaken
- d) A landscape implementation programme;
- e) Tree planting, including the details for the proposed trees, tree pits and fixing (at time of planting);
- f) Specification for protective fencing to protect hedges during establishment and a plan indicating alignment / position of protective fencing;
- g) Details of tree planting within the car parking spaces and screening around the car park with hedge planting and a proposed screen to separate the parking from the communal garden;
- h) Details of minor artefacts and structures (such as furniture, seats and bins, pergola, trellis and any proposed exterior lighting or low level lighting).

Hard landscape works shall include:

- a) Details of permeable, hard landscape materials

REASON: The development shall be completed in accordance with the details so agreed to safeguard the appearance and character of the area, and to enhance the appearance of the development in accordance with policies 7.4, 7.6 and 7.21B of The London Plan (2016) and policies DM1, DM22 and DM23 of the Harrow Development Management Policies Local Plan (2013).

14. Landscape Implementation

All planting, seeding or turfing comprised in the approved details of landscaping shall be carried out in the first planting and seeding seasons following the details approved pursuant to condition 13 of this permission. Any existing or new trees or shrubs which, within a period of 5 years from the completion of the development, die, are removed, or become seriously damaged or diseased, shall be replaced in the next planting season, with others of a similar size and species, unless the local authority agrees any variation in writing.

REASON: To safeguard the appearance and character of the area, and to enhance the appearance of the development in accordance with policy 7.6 of The London Plan (2016) and policies DM1, DM22 and DM23 of the Harrow Development Management Policies Local Plan (2013).

15. Accessibility

The development hereby permitted shall be constructed to the specifications of: "Part M, M4 (2), Category 2: Accessible and Adaptable Dwellings" of the Building Regulations 2013 and thereafter retained in that form.

REASON: To ensure that the development is capable of meeting 'Accessible and Adaptable Dwellings' standards in accordance with policy 7.2 of The London Plan (2016) and policy DM1 of the Harrow Development Management Policies Local Plan (2013).

16. Balcony

No part of the building hereby permitted shall be used as a balcony, roof garden or similar amenity area without the prior written approval of the Local Planning Authority.

REASON: To safeguard the amenity of neighbouring residents in accordance with Policy DM1 of the Harrow Development Management Policies Local Plan (2013).

17. Communal Television Equipment

The development hereby approved shall not progress beyond damp course level, until details of a strategy for the provision of communal facilities for television reception (eg. aerials, dishes and other such equipment) as been submitted to and approved in writing by the Local Planning Authority. Such details shall include the specific size and location of all equipment. The approved details shall be implemented prior to the first occupation of the building and shall be retained thereafter. No other television reception equipment shall be introduced onto the walls or the roof of the building without the prior written approval of the Local Planning Authority.

REASON: In order to prevent the proliferation of individual television reception items on the building which would be harmful to the character and appearance of the building and the visual amenity of the area

Informatives

1. Relevant Policies

The following policies and guidance are relevant to this decision:

National Planning Policy and Guidance (2019)

The London Plan (2016):

3.2, 3.8, 3.17, 5.12, 5.13, 6.13, 7.2, 7.3, 7.4, 7.6, 7.21

The Draft London Plan (2017)

D1, D2, D3, D5, H14, GG4, T4, T5, T6

Harrow Core Strategy (2012)

CS1

Development Management Policies Local Plan (2013)

DM1, DM2, DM9, DM10, DM22, DM23, DM29, DM42, DM45

Supplementary Planning Document - Residential Design Guide (2010)

The London Plan Housing Supplementary Planning Guidance (2016)

Supplementary Planning Document : Accessible Homes (2010)

Technical Housing Standard (2015)

2. Grant with Pre-Application Advice

Statement under Article 31 (1)(cc) of The Town and Country Planning (Development Management Procedure) (England) Order 2010 (as amended)

This decision has been taken in accordance with paragraphs 187-189 of The National Planning Policy Framework. Pre-application advice was sought and provided and the submitted application was in accordance with that advice.

3. Mayor CIL

Please be advised that approval of this application (either by Harrow Council, or subsequently by the Planning Inspectorate if allowed on appeal following a refusal by Harrow Council) will attract a Community Infrastructure Levy (CIL) liability, which is payable upon the commencement of development. This charge is levied under s.206 of the Planning Act 2008 Harrow Council, as CIL collecting authority, has responsibility for the collection of the Mayoral CIL.

The Provisional Mayoral CIL liability for the application, based on the Mayoral CIL levy rate for Harrow of £60/sqm is £11,399.80

The floorspace subject to CIL may also change as a result of more detailed measuring and taking into account any in-use floor space and relief grants (i.e. for example, social housing).

You are advised to visit the planningportal website where you can download the appropriate document templates.

Please complete and return the Assumption of Liability Form 1 and CIL Additional Information Form 0 .

https://ecab.planningportal.co.uk/uploads/1app/forms/form_1_assumption_of_liability.pdf

https://ecab.planningportal.co.uk/uploads/1app/forms/cil_questions.pdf

If you have a Commencement Date please also complete CIL Form 6:

https://ecab.planningportal.co.uk/uploads/1app/forms/form_6_commencement_notice.pdf

The above forms should be emailed to HarrowCIL@Harrow.gov.uk

Please note that the above forms must be completed and provided to the Council prior to the commencement of the development; failure to do this may result in surcharges and penalties

4. Harrow CIL

Harrow has a Community Infrastructure Levy which will apply Borough wide for certain uses of over 100sqm gross internal floor space. The CIL has been examined by the Planning Inspectorate and found to be legally compliant. It will be charged from the 1st October 2013. Any planning application determined after this date will be charged accordingly.

Harrow's Charges are:

Residential (Use Class C3) - £110 per sqm;

Hotels (Use Class C1), Residential Institutions except Hospitals, (Use Class C2), Student Accommodation, Hostels and HMOs (Sui generis)- £55 per sqm;

Retail (Use Class A1), Financial & Professional Services (Use Class A2), Restaurants and Cafes (Use Class A3) Drinking Establishments (Use Class A4)

Hot Food Takeaways (Use Class A5) - £100 per sqm

All other uses - Nil.

The Harrow CIL Liability for this development is: £29,872.16

5. Considerate Contractor Code of Practice

The applicant's attention is drawn to the requirements in the attached Considerate Contractor Code of Practice, in the interests of minimising any adverse effects arising from building operations, and in particular the limitations on hours of working.

6. Compliance With Planning Conditions

IMPORTANT: Compliance With Planning Conditions Requiring Submission and Approval of Details Before Development Commences

- You will be in breach of planning permission if you start development without complying with a condition requiring you to do something before you start. For example, that a scheme or details of the development must first be approved by the Local Planning Authority.
- Carrying out works in breach of such a condition will not satisfy the requirement to commence the development within the time permitted.
- Beginning development in breach of a planning condition will invalidate your planning permission.
- If you require confirmation as to whether the works you have carried out are acceptable, then you should apply to the Local Planning Authority for a certificate of lawfulness.

7. Sustainable Urban Drainage

The applicant is advised that surface water run-off should be controlled as near to its source as possible through a sustainable drainage approach to surface water management (SUDS). SUDS are an approach to managing surface water run-off which seeks to mimic natural drainage systems and retain water on or near the site as opposed to traditional drainage approaches which involve piping water off site as quickly as possible.

SUDS involve a range of techniques including soakaways, infiltration trenches, permeable pavements, grassed swales, ponds and wetlands. SUDS offer significant advantages over conventional piped drainage systems in reducing flood risk by attenuating the rate and quantity of surface water run-off from a site, promoting groundwater recharge, and improving water quality and amenity. Where the intention is to use soak ways they should be shown to work through an appropriate assessment carried out under Building Research Establishment (BRE) Digest 365.

Support for the SUDS approach to managing surface water run-off is set out in the National Planning Policy Framework (NPPF) and its accompanying technical guidance, as well as the London Plan. Specifically, the NPPF (2019) gives priority to the use of sustainable drainage systems in the management of residual flood risk and the technical guidance confirms that the use of such systems is a policy aim in all flood zones. Policy 5.13 of the London Plan (2016) requires development to utilise sustainable drainage systems unless there are practical reasons for not doing so. Sustainable drainage systems cover the whole range of sustainable approaches to surface drainage management. They are designed to control surface water run-off close to where it falls and mimic natural drainage as closely as possible. Therefore, almost any development should be able to include a sustainable drainage scheme based on these principles. The applicant can contact Harrow Drainage Section for further information.

8. Protected Trees

The applicant is hereby advised that there are trees within the curtilage of the application site which are subject to a Tree Preservation Order. Please note that it is a criminal offence to cut down, top, lop, uproot, wilfully damage or wilfully destroy a tree protected by that order, or to cause or permit such actions, without the prior approval of the Local Authority.

Checked

Interim Chief Planning Officer	8/11/2019
Corporate Director	11/11/2019

APPENDIX 2: SITE PLAN



APPENDIX 3: SITE PHOTOGRAPHS



Front elevation of host building, No.44 Flambard Road to the left



Front elevation of host building



Side boundary of site adjacent to Gayton Road



Side boundary of site adjacent to Gayton Road



Flank wall of host dwelling



Rear elevation of host building



Rear boundary of the site, car parking area to the rear of the site for Fulwood Court



Side boundary of the site adjacent to Gayton Road



Fulwood Court located to the rear of the site



Nos.80 and 82 Gayton Road located opposite site boundary of the site

APPENDIX 4: PLANS AND ELEVATIONS

Existing Streetscene



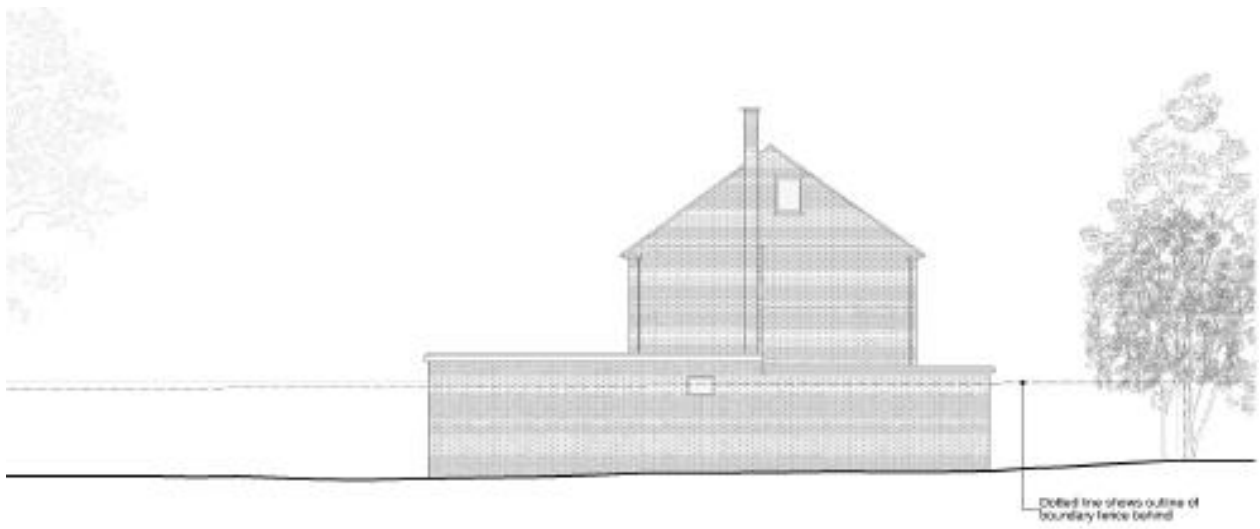
Existing Front Elevation



Existing Side Elevation (East Flank)



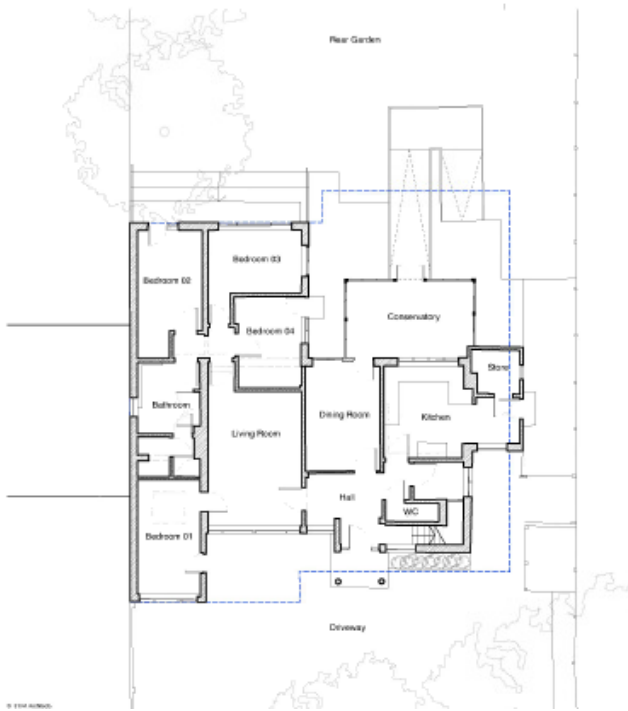
Existing Side Elevation (WestFlank)



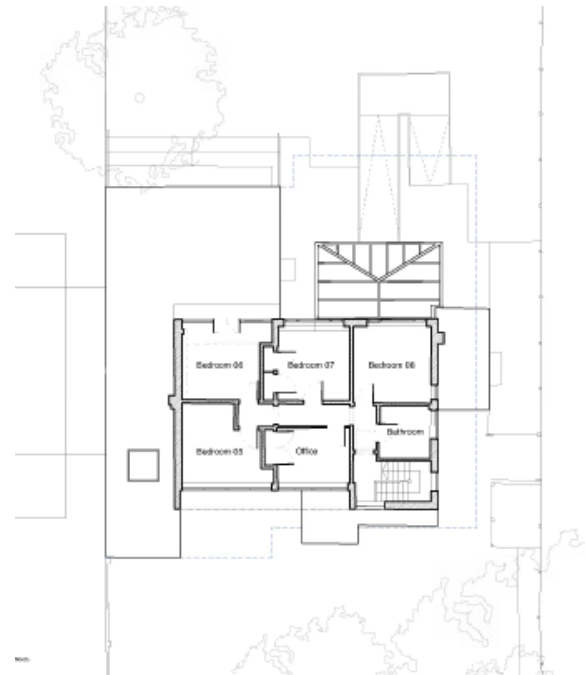
Existing Rear Elevation



Existing Ground Floor Plan



Existing First Floor Plan



Proposed Streetscene



Proposed Front Elevation

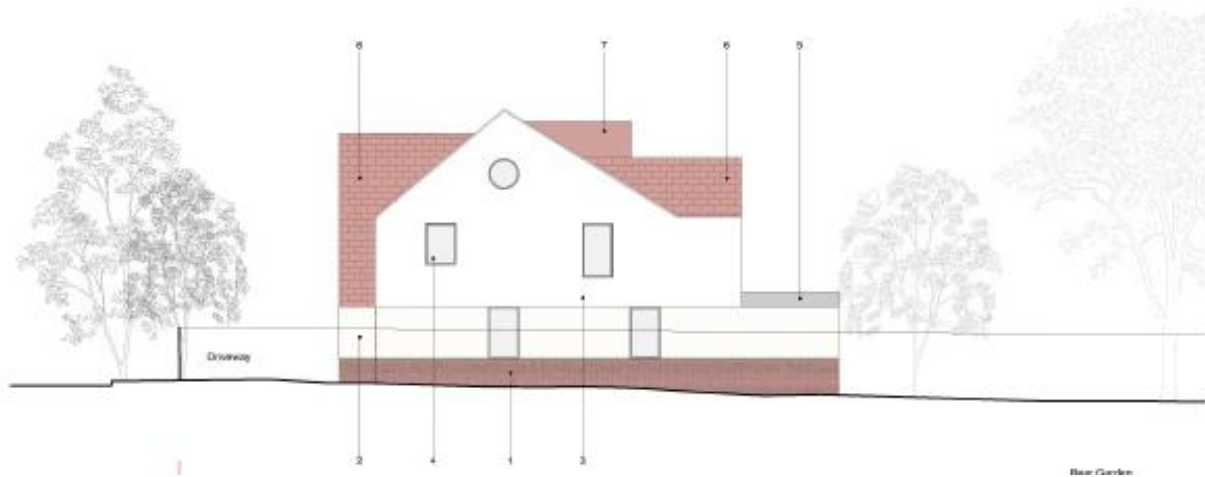
- (1) Flint brickwork
- (2) White render
- (3) White render, coarser texture
- (4) Double glazed aluminium window & rooflight frames (anodised or powder coated)
- (5) Mid-grey cementitious board
- (6) Clay tiled roof
- (7) Cladding board to match roof tile colour
- (8) Timber panelled door (colour to match panels above)



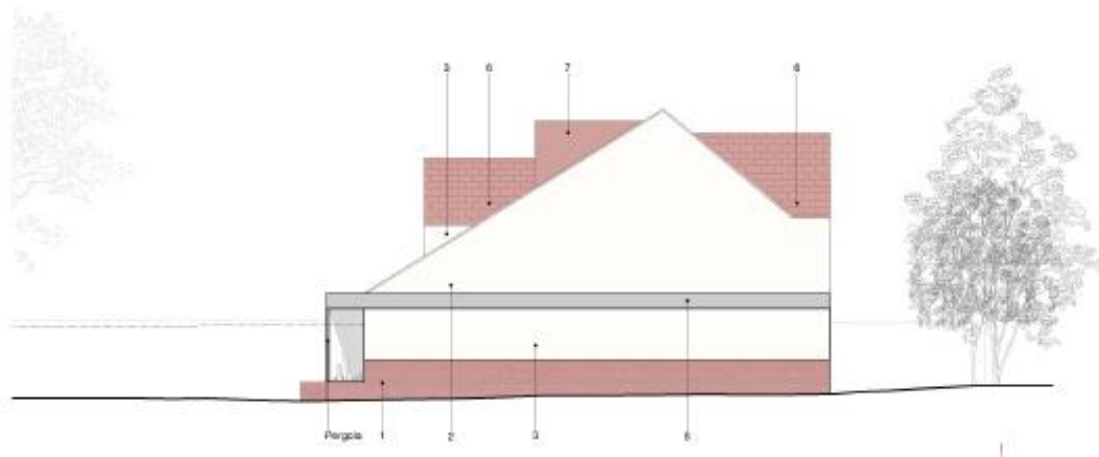
Proposed Side Elevation (East Flank)



- (1) Red brickwork
- (2) White render
- (3) White render, coarser texture
- (4) Double glazed aluminium window & rooflight frames (powdered or powder coated)
- (5) Mid-grey cementitious board
- (6) Clay tiled roof
- (7) Cladding board to match roof tile colour
- (8) Timber paneled door (colour to match panels above)



Proposed Side Elevation (West Flank)

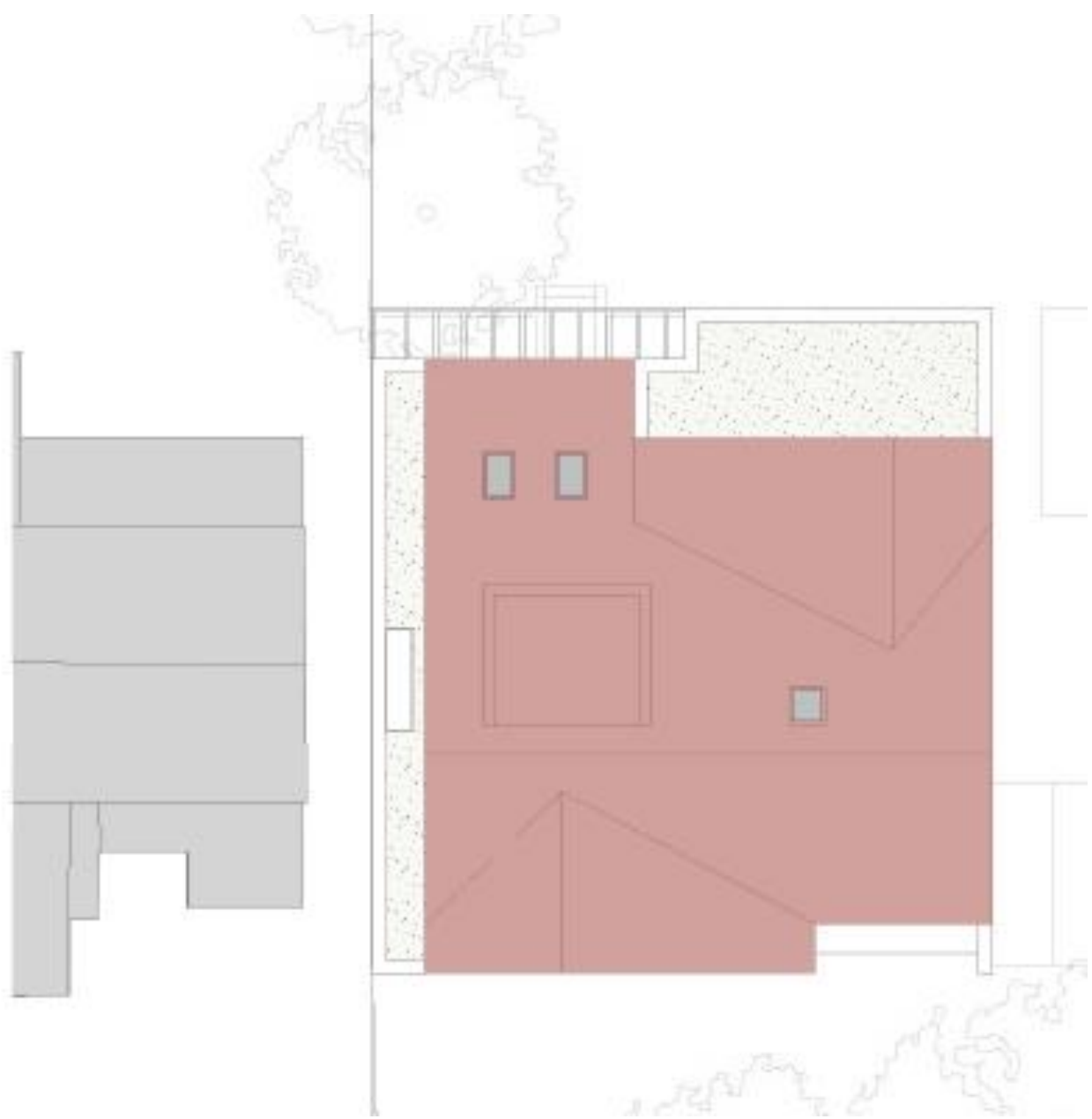


Proposed Rear Elevation

- [1] Red brickwork
- [2] White render
- [3] White render, coarser texture
- [4] Double glazed aluminum window & sunlight frames (anodised or powder coated)
- [5] Mid-gray cementitious board
- [6] Clay tiled roof
- [7] Cladding board to match roof tile colour
- [8] Timber paneled door (colour to match panels above)



Proposed Roof Plan



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